

**SLOPE ANALYSIS TABULATION**

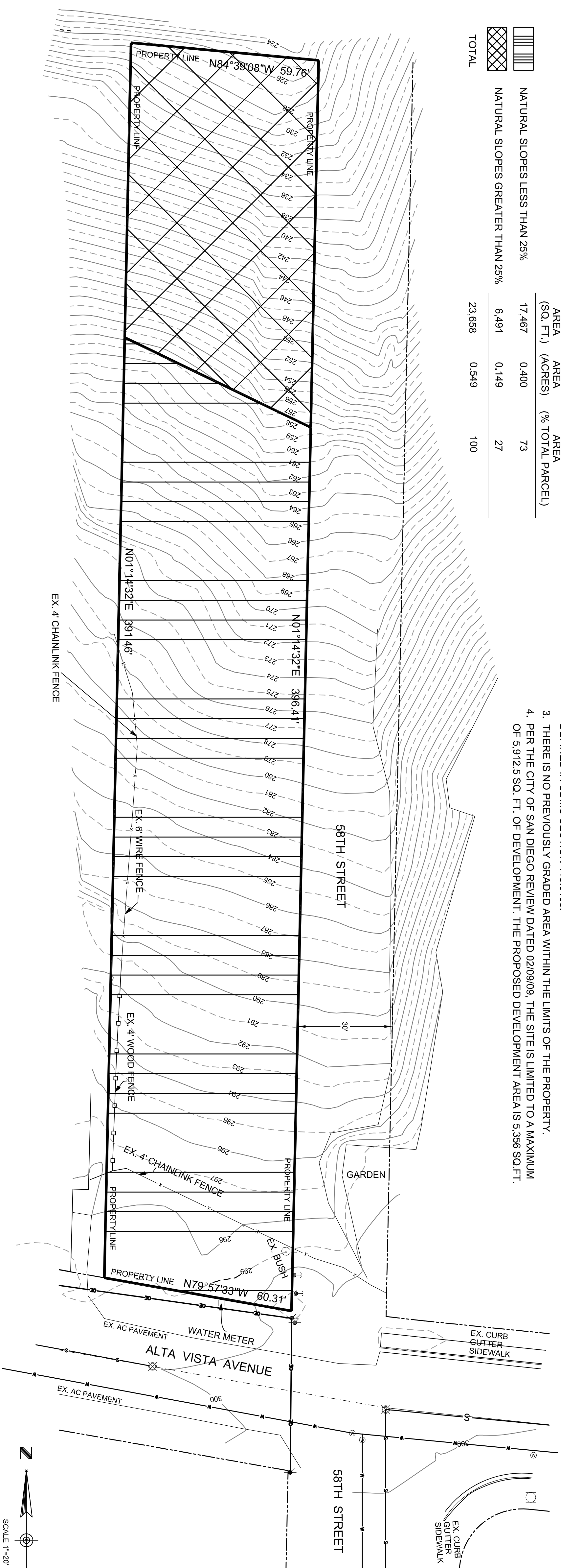
A.P.N. 533-013-09-00

AREA (SQ. FT.)	AREA (ACRES)	AREA (% TOTAL PARCEL)
17,467	0.400	73
6,491	0.149	27
23,658	0.549	100

NATURAL SLOPES LESS THAN 25%
   
 NATURAL SLOPES GREATER THAN 25%

**SLOPE ANALYSIS NOTES:**

1. THERE ARE STEEP HILLSIDES AS DEFINED IN SDMC SECTION 113.0103 IN THIS PROPERTY.
2. THERE ARE NO PROPOSED ENCROACHMENTS INTO SENSITIVE SLOPES (STEEP SLOPES AS DEFINED IN SDMC SECTION 113.0103).
3. THERE IS NO PREVIOUSLY GRADED AREA WITHIN THE LIMITS OF THE PROPERTY.
4. PER THE CITY OF SAN DIEGO REVIEW DATED 02/09/09, THE SITE IS LIMITED TO A MAXIMUM OF 5,912.5 SQ. FT. OF DEVELOPMENT. THE PROPOSED DEVELOPMENT AREA IS 5,366 SQ. FT.



**SITE PLAN / FIRST FLOOR:**

1" = 10'

**GENERAL NOTES:**

1. GRADING PROPOSED (WITHIN BUILDING FOOTPRINT)
  - 33 CY CUT (25 CY CUT FOR STEM WALL FOOTING / 8 CY CUT AT FRONTYARD SETBACK)
  - 165 CY FILL
  - 132 CY IMPORT
  - 2 FT. MAX. CUT SLOPE : 4 FT. MAX. FILL SLOPE
  - RETAINING WALLS 369 SQ.F. : 3.8 FT. MAXIMUM HEIGHT OF FILL BEHIND ANY RETAINING WALL
2. PROVIDE BUILDING ADDRESSES THAT ARE VISIBLE AND LEGIBLE FROM THE STREET
3. ALL OUTDOOR LIGHTING SHALL BE SHADDED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED.
4. DOWN SPOUTS SHALL BE DIRECTED INTO LANDSCAPED AREAS AND WALKWAYS SHALL SLOPE INTO LANDSCAPED AREAS WHERE DRAINAGE TO BE DISCHARGED TO THE STREET BY UNDER-SIDEWALK DRAIN.
5. NO EXISTING OR PROPOSED EASEMENTS
6. NO EXISTING OR PROPOSED BUS STOPS
7. NO OBSTRUCTIONS OVER 3 FT. IN VISIBILITY AREA
8. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
9. A VISIBILITY AREA OF 10' (10' X 10' TRIANGLE) SHALL BE PROVIDED ON BOTH SIDES OF THE PROPOSED DRIVEWAY ALONG THE PROPERTY LINES PER SDMC SECTION 113.0273. DRIVELAY, NO OBSTACLES HIGHER THAN 36" SHALL BE LOCATED WITHIN THIS AREA (E.G. WALLS, LANDSCAPING, SHRUBS, ETC.).
10. ALL MOVE-ON STRUCTURES MUST OBTAIN A SOUTHEASTERN SAN DIEGO DEVELOPMENT PERMIT AS SPECIFIED IN SECTION 1519.0202. FOR ALL MANUFACTURED AND FACTORY BUILT HOUSING, ROOF, SIDING AND FOUNDATION TREATMENTS SHALL CONFORM TO THE RELEVANT SECTIONS OF THE CALIFORNIA BUILDING CODE, 2001 EDITION, INCLUDING, BUT NOT LIMITED TO, CHAPTERS 23 THROUGH 32 AND ROOF OVERHANG, ROOFING MATERIAL AND SIDING MATERIAL SHALL BE SIMILAR TO TYPES USED FOR EXISTING ADJACENT RESIDENTIAL STRUCTURES. FOUNDATIONS AND FOOTINGS MUST BE FINISHED IN A MANNER CONSISTENT WITH THE STRUCTURES FOR ALL HOUSING TYPES.
11. THE PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (REFER TO LDC SECTIONS 113.0228, 113.0231-65ADE, AND 113.0270-HEIGHT FOR THE PROCEDURE FOR HEIGHT MEASUREMENT), THE HIGHEST POINT OF THE ROOF, EQUIPMENT OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE
12. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

**TOPOGRAPHICAL SURVEY:**

FREDERICK R. LAPAGE, PLS 7524  
 P.O. BOX 27786  
 RAINONA, CA 92065  
 760-789-3166 PHN  
 760-789-3166 FAX

**BASIS OF ELEVATIONS:**

CITY OF SAN DIEGO VERTICAL CONTROL MONUMENT SOUTHWEST BRASS PLUG AT 58TH STREET AND DIVISION STREET  
 ELEV. = 236.859 FT. M.S.L. NVD029

**WATER AND SEWER NOTES:**

1. THE OWNER WILL USE AN EXISTING 1" WATER STIFF WITH INSTALLING STANDARD WATER METER BOX WITH CAST IRON LID.
2. THE OWNER WILL USE AN EXISTING 4" SEWER LATERAL WITH INSTALLING NEW CLEANOUT AT PROPERTY LINE.
3. ALL PROPOSED PUBLIC WATER FACILITIES, INCLUDING SERVICES AND METERS, MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO WATER FACILITY DESIGN GUIDELINES AND CITY REGULATIONS, STANDARDS AND PRACTICES PERTAINING THERETO.
4. THE DEVELOPER SHALL DESIGN AND CONSTRUCT ANY PROPOSED PUBLIC SEWER FACILITIES TO THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGOS SEWER DESIGN GUIDE.
5. PROPOSED PRIVATE UNDERGROUND SEWER FACILITIES, LOCATED WITHIN A SINGLE LOT SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.

**DEVELOPMENTAL SUMMARY**

**OWNER:**  
 BETTIN FAMILY  
 9903 SANTA MONICA BLVD PMB 255  
 BEVERLY HILLS, CA 90212-1606  
 PH # (619) 261-7597

**REQUIRED DISCRETIONARY PERMITS / APPROVALS:**  
 SOUTHEAST SAN DIEGO SITE DEVELOPMENT PERMIT

**SCOPE OF WORK:**

- 1) TWO STORY SINGLE FAMILY RESIDENCE "MODULAR HOME" WITH ATTACHED TWO-CAR GARAGE AND 10'X20' DECK IN ADDITION TO WOOD STAIRS FROM GARAGE TO THE BACKYARD OF THE PROPERTY. THE HOUSE WILL BE SITTING ON STEEP WALLS AND THE GARAGE WILL BE SITTING ON SLAB.
- 2) IMPROVEMENTS

**STREET ADDRESS**

ALTAVISTA AVENUE  
 SAN DIEGO, CA., 92114  
 (Check One)

Between PARADISE RD and S 58TH ST

**SITE AREA**

TOTAL SITE AREA (GROSS): 60.31' x 396.41' 0.55 ACRE 23,958 SQ.FT.  
 NET SITE AREA: 60.31' x 396.41' 0.55 ACRE 23,958 SQ.FT.  
 F.A.R. ALLOWED (stand.): 0.50 11,979 SQ.FT.  
 GROSS FLOOR AREA (GFA): 0.13 3,094 SQ.FT.  
 DENSITY (Residential)

**MAXIMUM NO. OF UNITS ALLOWED PER ZONE:**

TWO  
 NONE  
 ONE  
 ONE

**NUMBER OF EXISTING UNITS TO REMAIN ON SITE:**

NONE  
 ONE  
 ONE

**NUMBER OF PROPOSED DWELLING UNITS ON SITE:**

ONE  
 ONE

**TOTAL NUMBER OF UNITS PROVIDED ON SITE:**

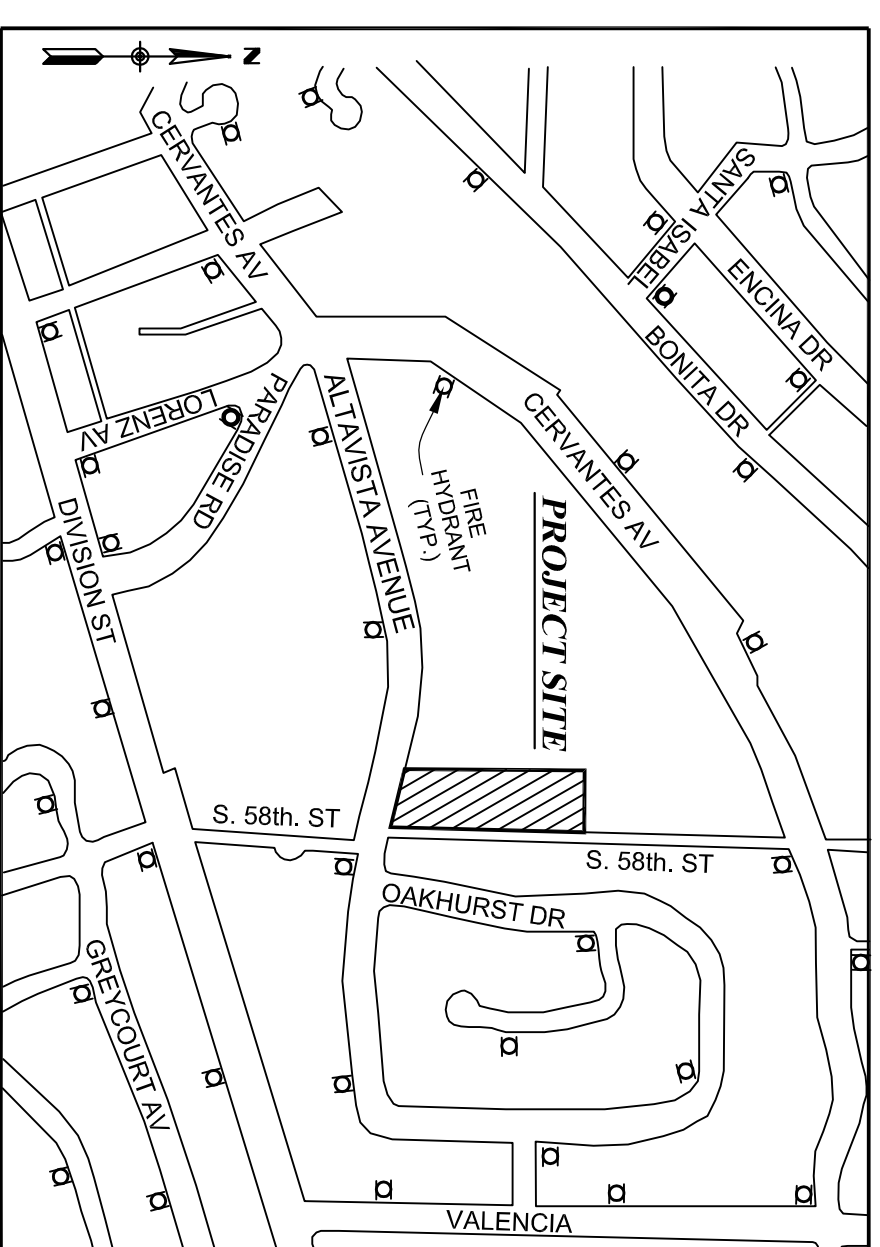
ONE

**YARD/SETBACK**

STREET YARD REQUIRED 20 ft. PROPOSED 20 ft.  
 STREET SIDE YARD N/A 10 ft. PROPOSED 6 ft.  
 INTERIOR YARDS REQUIRED 6 ft. PROPOSED 6 ft.  
 REAR YARD REQUIRED 15 ft. PROPOSED more than 15 ft.  
 EXISTING / PROPOSED USES:  
 PROPOSED USE: SINGLE FAMILY RESIDENCE  
 EXISTING USE: VACANT LOT

**FIRE HYDRANT / VICINITY MAP**

NO SCALE



**OWNER'S CERTIFICATE  
 STANDARD SINGLE FAMILY RESIDENTIAL PROJECT  
 FOR POST CONSTRUCTION BMP'S**

I/we the undersigned as owner(s) of the property described as A.P.N. 533-013-09-00 (ELY 60' OF LOT 88 MAP No. 501, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA) (Address or legal description) understand that in accordance with the San Diego Municipal Code, Land Development Manual Storm Water Standards, this project is required to "Identify Pollution from the Project Area and incorporate Site Design and Source Control" BMP's. I certify to the best of my knowledge, pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Toxic & Debris
- Oxygen Demanding Substance

I will incorporate the following into the site design:

- Minimize pre-development runoff characteristics
- Minimize erosion potential by constructing walkways, patios and driveways with permeable surfaces.

- Use natural drainage systems as opposed to lined swales or underground drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs.
- Protect all slopes from erosion.

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain shut-off devices and flow reducers.

I/we will maintain the above Standards Permanent BMP's in perpetuity.

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**PREPARED BY:**

**JERUSALEM CONSULTING ENGINEERS, INC**  
 9966 DOLORES ST., SUITE 201  
 SPRING VALLEY, CA 91977  
 PH (619) 463-3002  
 FAX (619) 463-3007  
 www.jceinc.us

**DESIGN / ARCHITECTURE:**  
 MODULAR HOME BY LAUREL CREEK  
 \* SEE ATTACHED STATE APPROVED PLANS AS PART OF SOUTHEAST SAN DIEGO SITE DEVELOPMENT PERMIT

**CONTRACTOR INFORMATION:**

MODULAR HOMES PRO  
 1349 S. ESCONCINO BLVD.  
 ESCONCINO, CA 92027  
 PH (760) 560-1452  
 FAX (760) 738-0661

PROJECT ADDRESS: ALTAVISTA AVENUE  
 SAN DIEGO, CA 92114

PROJECT NAME: BETTIN RESIDENCE

LOT / MAP #: LOT 88, MAP NO. 501

APN#: 553-013-09-00

ZONE: SF-10,000

OWNER NAME: C/O JAMES BETTIN

OWNER PHONE#: (619) 261-7597

ORIGINAL DRAWING DATE: 10/26/07

REVISION 1: 05/19/08

REVISION 2: -

REVISION 3: -

REVISIONS	BY
1	MO
2	
3	

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**RESIDENCE FOR:**  
**JAMES BETTIN**  
 5790 ALTA VISTA AVENUE  
 SAN DIEGO, CA 92114

DRAWN:

CHECK:

DATE:

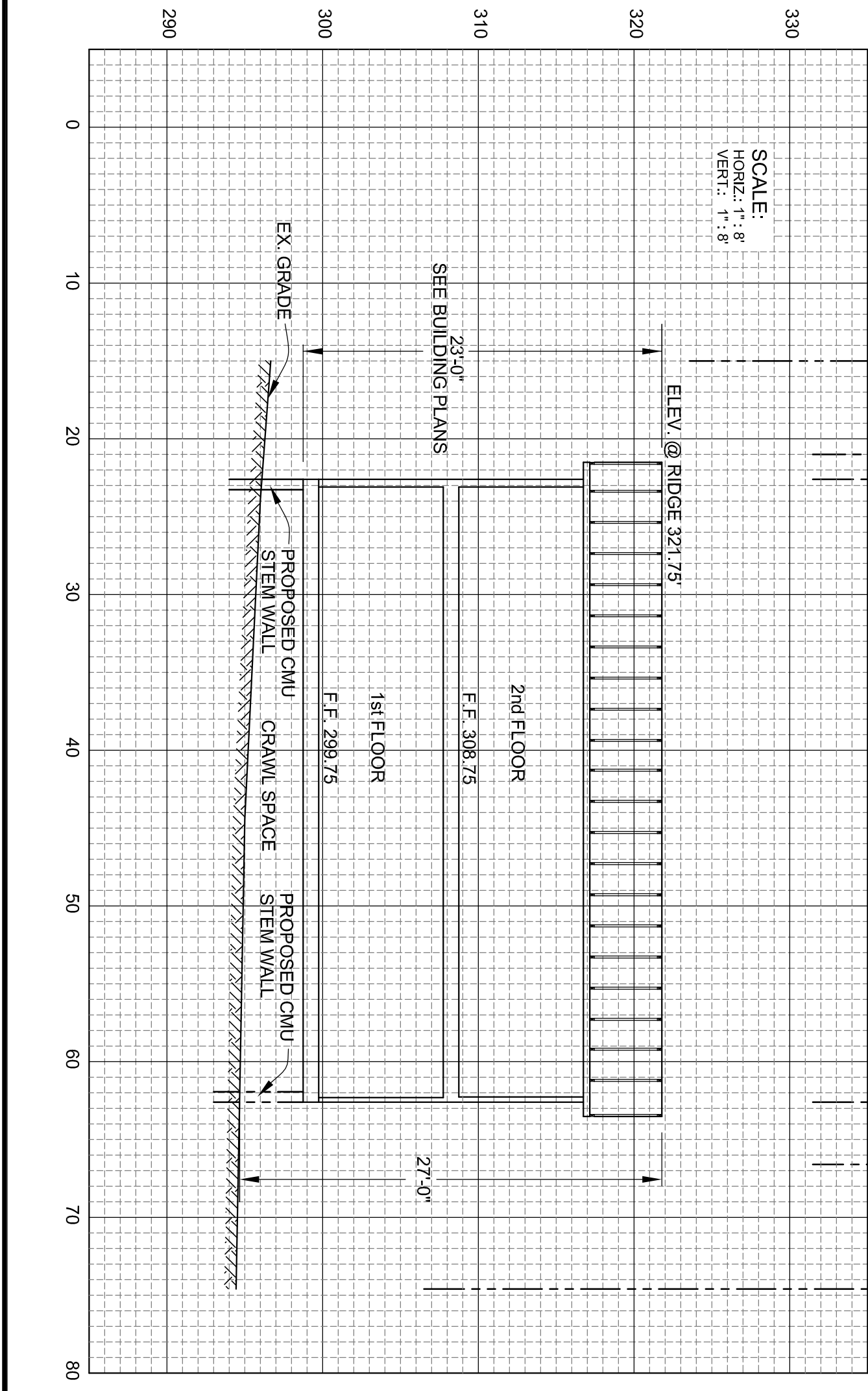
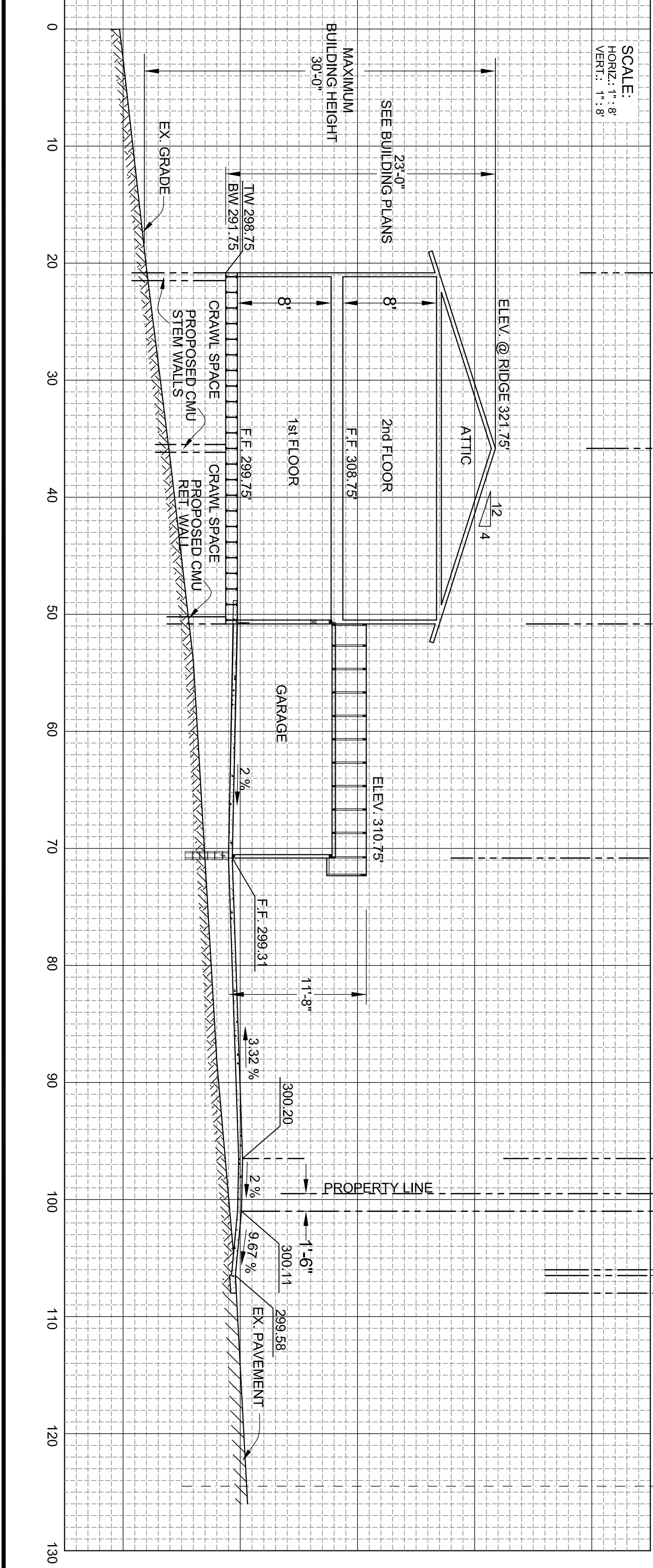
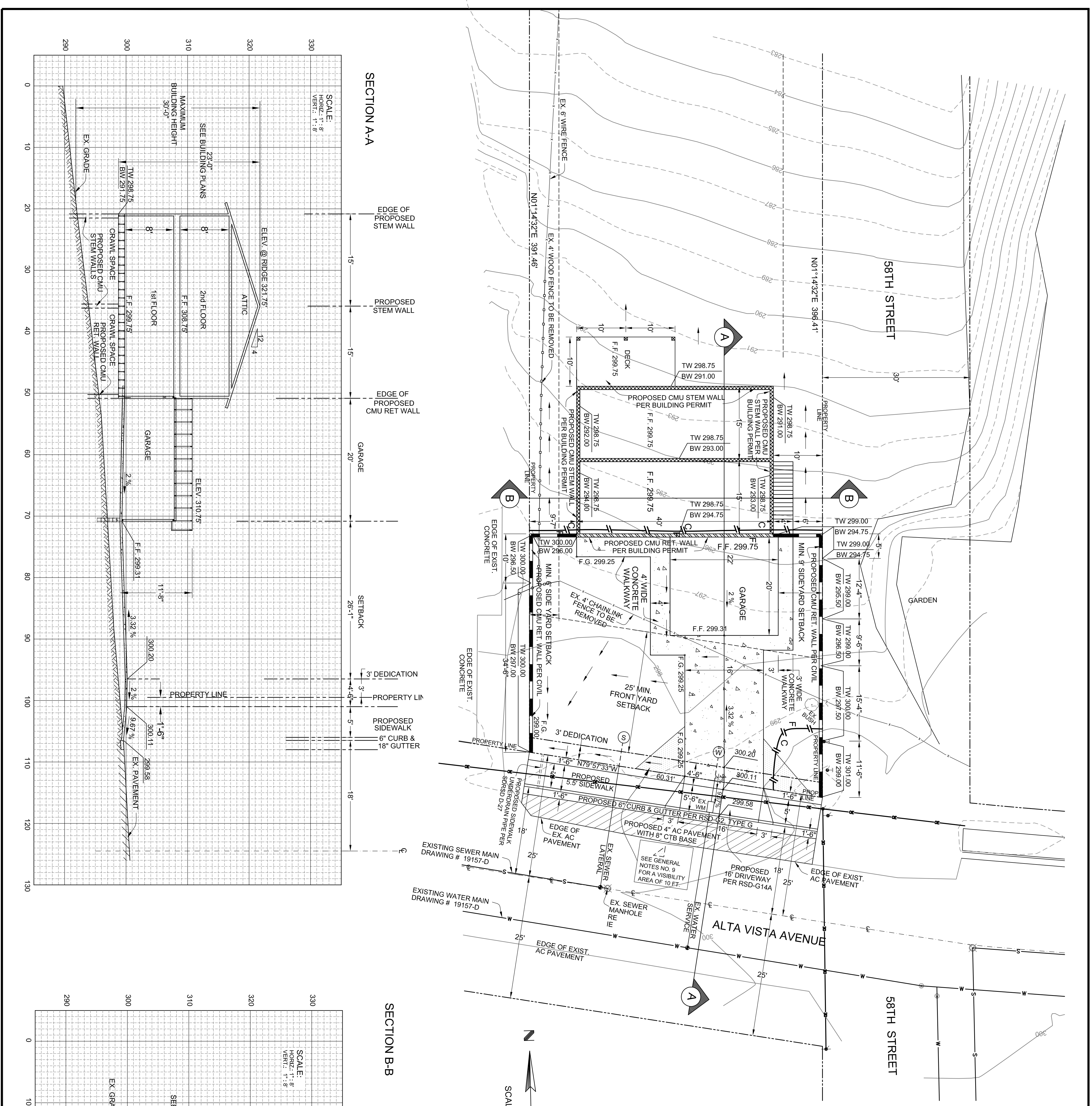
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JOB NO.:

SHEET NO.:

SHEET: 1 OF 2

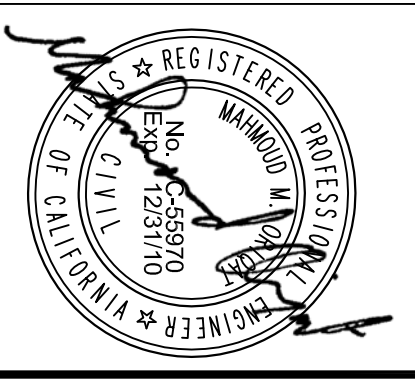


**LEGEND**

DESCRIPTION	STANDARD DRAWING	SYMBOL
PROPERTY LINE		---
EXISTING WATER MAIN		W
EXISTING WATER SERVICE		WS
EXISTING SEWER LATERAL		S
EXISTING SEWER MAIN	SS-01 & SC-01	SS
EX. ELECTRICAL OVERHEAD		EO
FINISHED GROUND CONTOUR		FG
EXISTING GROUND CONTOUR		EG
PROPOSED CONCRETE DRIVEWAY	G-144A	G-144A
CONTIGUOUS 5' SIDEWALK	G-7, G-9	G-7, G-9
6" CURB & GUTTER	G-2, S03 100	G-2, S03 100
CMU RETAINING WALL (PER CIVIL)		CMU
CMU RETAINING WALL (PER BUILDING PERMIT)		CMU
CMU STEM WALL (PER BUILDING PERMIT)		CMU
FUTURE SPOT ELEVATIONS		400.50TC 400.00P
4" AC ON 8" CL 2		AC
DIRECTION OF DRAINAGE		→
TOP OF WALL		TW
BOTTOM OF WALL		BW
FINISH FLOOR		F.F.
FINISH GRADE		F.G.
RIM ELEVATION		R.E.
INVERT ELEVATION		I.E.
EXISTING SPOT ELEV.		000.00

DRAWN: \_\_\_\_\_  
 CHECK: \_\_\_\_\_  
 DATE: 03/01/09  
 SCALE: AS SHOWN  
 JOB NO.: \_\_\_\_\_  
 SHEET NO.: C2

**RESIDENCE FOR:**  
 JAMES BETTIN  
 5790 ALTA VISTA AVENUE  
 SAN DIEGO, CA 92114



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REVISIONS

NO.	DATE	BY
1	05/19/08	MO