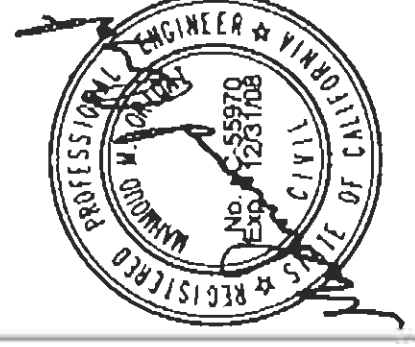
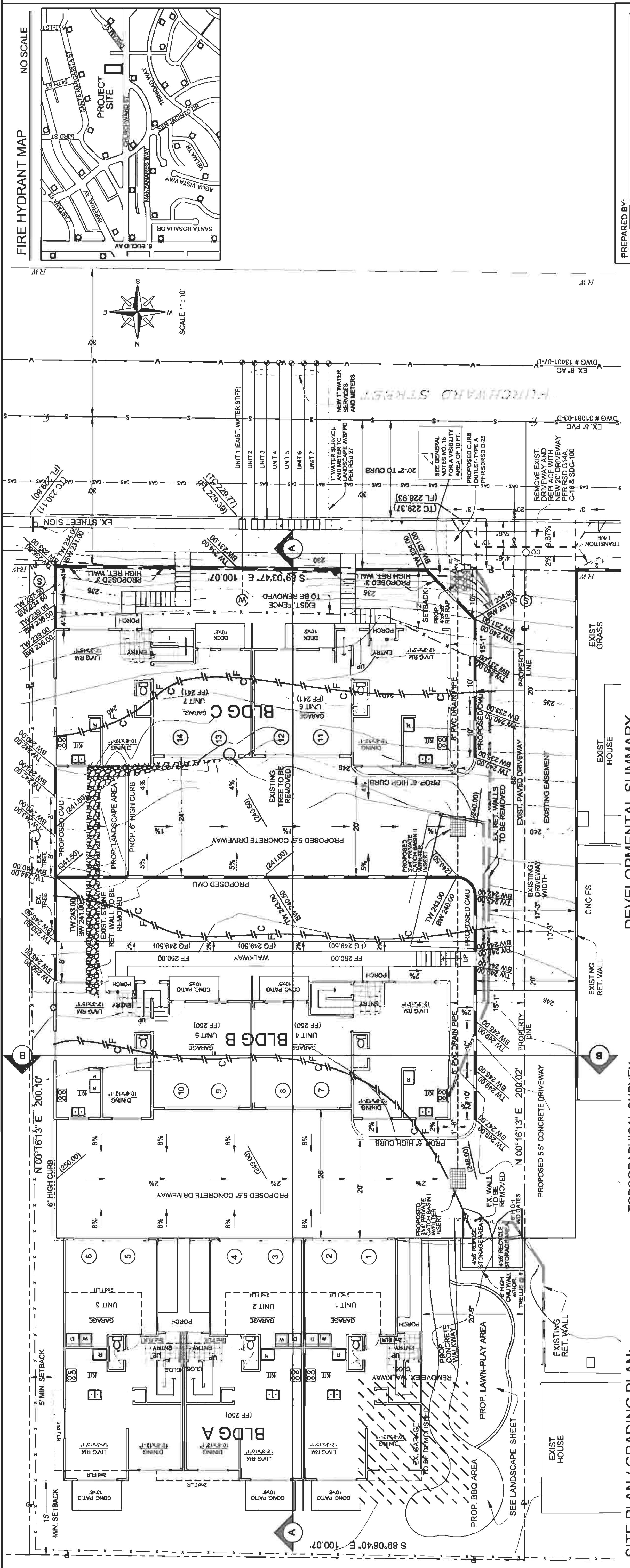


NO.	REVISIONS	BY	DATE
1	ISSUED FOR PERMIT	JD	02/17/08
2	REVISED PER COMMENTS	JD	02/17/08
3	REVISED PER COMMENTS	JD	02/17/08
4	REVISED PER COMMENTS	JD	02/17/08
5	REVISED PER COMMENTS	JD	02/17/08
6	REVISED PER COMMENTS	JD	02/17/08
7	REVISED PER COMMENTS	JD	02/17/08
8	REVISED PER COMMENTS	JD	02/17/08
9	REVISED PER COMMENTS	JD	02/17/08
10	REVISED PER COMMENTS	JD	02/17/08
11	REVISED PER COMMENTS	JD	02/17/08
12	REVISED PER COMMENTS	JD	02/17/08
13	REVISED PER COMMENTS	JD	02/17/08
14	REVISED PER COMMENTS	JD	02/17/08
15	REVISED PER COMMENTS	JD	02/17/08
16	REVISED PER COMMENTS	JD	02/17/08
17	REVISED PER COMMENTS	JD	02/17/08
18	REVISED PER COMMENTS	JD	02/17/08
19	REVISED PER COMMENTS	JD	02/17/08
20	REVISED PER COMMENTS	JD	02/17/08

BUILDING DESIGN & ENGINEERING
 9966 DOLORES ST., SUITE 201
 SPRING VALLEY, CA, 91977
 PH (619) 463-3002
 FAX (619) 463-3007



JEFLA PROPERTIES, LLC
 CHURCHWARD ST. APARTMENTS
 SAN DIEGO, CA 92114



SITE PLAN / GRADING PLAN:

GENERAL NOTES:

- GRADING PROPOSED DISTURBED AREA: 459 ACRES. 5 FT. MAX. CUT: 288 CY. CUT: 288 CY. FILL: EXPORT 228 CY. RETAINING WALLS: 1,538 LF.
- PROVIDE BUILDING ADDRESSES THAT ARE VISIBLE AND LEGIBLE FROM THE STREET FRONTING PROPERTY PER PHPS POLICY P-04-06 (UFC 901.4.4).
- ALL OUTDOOR LIGHTING SHALL BE SHADOWED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED.
- DOWN SPOUTS SHALL BE DIRECTED INTO LANDSCAPED AREAS AND WALKWAYS SHALL SLOPE INTO LANDSCAPED AREAS WHERE FEASIBLE GARAGE DRAINAGE TO BE HANDLED BY SUP PUMP AND DISCHARGED TO THE STREET BY UNDER-SIDEWALK DRAIN.
- NO EXISTING OR PROPOSED EASEMENTS
- NO EXISTING OR PROPOSED BUS STOPS
- NO OBSTRUCTIONS OVER 3 FT. IN VISIBILITY AREA
- THE PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC SECTIONS 131.04444 AND 132.0595). THE HIGHEST POINT OF THE ROOF, EQUIPMENT OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE
- PROVIDE 6" NON-OPAQUE BARRIER ON REQUIRED OS ALONG RIVERA DR
- SEE TOPO PLAN AND THIS SHEET FOR EXISTING / DEMO PLAN
- SEE THIS SHEET FOR PROPOSED DRAINAGE PATTERNS
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
- A VISIBILITY AREA OF 10' (10' x 10' TRIANGLE) SHALL BE PROVIDED IN THE PROPOSED DRIVEWAY ALONG THE PROPERTY LINE PER LDC SECTION 13.0273. NO OBSTACLES HIGHER THAN 36" SHALL BE LOCATED WITHIN THIS AREA (e.g. WALLS, LANDSCAPING, SHRUBS, ETC.)

TOPOGRAPHICAL SURVEY:

VICTOR RODRIGUEZ-FERNANDEZ
 4901 MORENA BLVD., STE 409, SAN DIEGO, CA 92108
 PHONE: (619) 967-5693

BASIS OF ELEVATIONS:

THE BASIS OF ELEVATION FOR THIS SURVEY IS THE CITY OF SAN DIEGO BENCHMARK DESCRIBED AS A BRASS PLUG LOCATED AT THE SOUTHWESTLY INTERSECTION OF CHURCHWARD ST. AND MANZANARES WAY

ELEVATION = 228.82 M.S.L.

SITE CONDITIONS SHOWN ON THIS SURVEY ARE A RESULT OF A FIELD SURVEY BY VICTOR RODRIGUEZ-FERNANDEZ, COLLECTED IN AUGUST 31, 2007

DEVELOPMENTAL SUMMARY

OWNER: JEFLA PROPERTIES, LLC
 2355 HARTFORD ST.
 SAN DIEGO, CA, 92110
 PH (619) 275-6551

REQUIRED DISCRETIONARY PERMITS / APPROVALS:
 SOUTHEASTERN SAN DIEGO SITE DEVELOPMENT PERMIT

SCOPE OF WORK:

- THE PROJECT PROPOSES DEMOLISHING THE EXISTING 2-CAR GARAGE ON THE UPPER PORTION OF THE SITE AS WELL AS DEMOLISHING AN EXISTING ROCK RETAINING WALL ON THE MIDDLE PORTION OF THE SITE. IN ADDITION TO DEMOLISHING VARIOUS EXISTING RETAINING WALLS AT PORTION OF THE SITE, THE PROJECT PROPOSES THE DEVELOPMENT OF ONE 3-UNIT BUILDING COMPRISED OF 2-BEDROOMS, 2-1/2 BATHS, AND A 2-CAR GARAGE EACH, AND TWO DUPLEX BUILDINGS COMPRISED OF 2-BEDROOMS, 2-1/2 BATHS, AND A 2-CAR GARAGE
- BUILDING NEW CMU RETAINING WALLS TO ACCOMMODATE VARIOUS DRIVEWAYS

LEGAL
 A.P.N.: 548-204-51-00
 LOT #1 IN BLOCK 5 OF ALTURAS, NO. 2, CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREON RECORDED IN THE PUBLIC OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, CALIFORNIA.

SITE AREA

TOTAL SITE AREA (GROSS):	100.00 x 200.00'	0.459 ACRE
NET SITE AREA:	100.00 x 200.00'	0.459 ACRE
F.A.R. ALLOWED (88nd):	1.00	
GROSS FLOOR AREA (GFA):		13,316 SQ. FT.
DENSITY (Residential):		SEVEN
MAXIMUM NO. OF UNITS ALLOWED PER ZONE:		SEVEN
NUMBER OF EXISTING UNITS TO REMAIN ON SITE:		SEVEN
NUMBER OF PROPOSED DWELLING UNITS ON SITE:		SEVEN
TOTAL NUMBER OF UNITS PROVIDED ON SITE:		SEVEN

YARD/SETBACK

STREET YARD	REQUIRED	10ft.	PROPOSED	12ft.
STREET SIDE YARD	N/A	N/A	PROPOSED	N/A
INTERIOR YARDS	REQUIRED	5ft.	PROPOSED	5ft.
REAR YARD	REQUIRED	15ft.	PROPOSED	15ft.

EXISTING / PROPOSED USES:
 EXISTING USE: MULTI-UNIT DWELLING RESIDENTIAL (SEE SCOPE OF WORK)
 EXISTING USE: SINGLE FAMILY RESIDENCE

WATER AND SEWER NOTES:

- ALL NEW WATER SERVICES SHALL HAVE A MINIMUM 30 INCH SEPARATION BETWEEN SERVICES AT THE CONNECTION POINTS TO THE EXISTING WATER MAIN IN CHURCHWARD ST. ALL NEW WATER SERVICE AND METERS WHICH MUST BE LOCATED OUTSIDE OF ANY DRIVEWAY OR VEHICULAR USE AREA.
- THE OWNER / PERMITTEE SHALL TO INSTALL PRIVATE, ABOVE GROUND BACKFLOW PREVENTION DEVICES (BFPDs) FOR ALL EXISTING AND PROPOSED FIRE AND IRRIGATION SERVICES. THE NEW BFPDs SHALL BE LOCATED ABOVE GRADE, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY. THE WATER DEPARTMENT WILL NOT ALLOW BFPD INSTALLATIONS BELOW GRADE, OR WITHIN STRUCTURES.
- ALL PROPOSED PUBLIC WATER FACILITIES, INCLUDING SERVICES AND METERS, MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO WATER FACILITY DESIGN GUIDELINES AND CITY REGULATIONS, STANDARDS AND PRACTICES PERTAINING THERETO.
- THE DEVELOPER SHALL DESIGN AND CONSTRUCT ANY PROPOSED PUBLIC SEWER SERVICES TO THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO'S SEWER DESIGN GUIDE.
- PROPOSED PRIVATE UNDERGROUND SEWER FACILITIES LOCATED WITHIN A SINGLE LOT SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.

PREPARED BY:

BUILDING DESIGN & ENGINEERING
 9966 DOLORES ST., SUITE 201
 SPRING VALLEY, CA, 91977
 PH (619) 463-3002
 FAX (619) 463-3007

DESIGN / ARCHITECTURE:
 ROGER A. REYNOLDS, ARA, NCARB
 1365 CAMINITO GABALDON
 SUITE E, SAN DIEGO, CA 92108
 PH (619) 291-3666
 FAX (619) 291-3666

LANDSCAPE DESIGN
 HUTTER DESIGNS, INC.
 2667 CAMINO DEL RIO S., STE 107C
 SAN DIEGO, CA 92108
 PH (619) 283-4421

PROJECT ADDRESS: CHURCHWARD ST.
 SAN DIEGO, CA 92114

PROJECT NAME: -
LOT / MAP #: LOT 1801, MAP NO 1864
APN#: 548-204-51-00
ZONE: MF-3000
OWNER NAME: JEFLA PROPERTIES, LLC
OWNER PHONE#: (619) 275-6551
DATE: 03/17/08
SCALE: AS SHOWN
JOB NO.: -
REVISION 1: 02 / 05 / 07
REVISION 2: -
REVISION 3: -
REVISION 4: -
REVISION 5: -
REVISION 6: -
REVISION 7: -

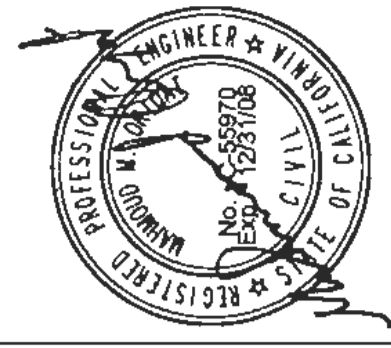
PARKING
 PARKING CRITERIA: RESIDENTIAL (Seven 2dr/2.5dr)
 TOTAL NUMBER OF SPACES REQUIRED BY ZONE: 14 SPACES
 TOTAL NUMBER OF SPACES PROVIDED ON SITE: 14 SPACES
 TOTAL NUMBER OF UNITS PROVIDED ON SITE: 14 SPACES

PROJECT DATA

1. ZONE:	MF-3000
2. BUILDING TYPE:	V-R
2a. OCCUPANCY:	R-3 & U-1
3. LOT AREA:	20,000 SQ. FT.
4. PROPOSED LIVING AREA:	
4a. UNIT # 1	672 SQ. FT.
SECOND FLOOR	829 SQ. FT.
TOTAL	1,501 SQ. FT.
4b. UNIT # 2	672 SQ. FT.
FIRST FLOOR	829 SQ. FT.
SECOND FLOOR	1,501 SQ. FT.
TOTAL	672 SQ. FT.
4c. UNIT # 3	829 SQ. FT.
FIRST FLOOR	829 SQ. FT.
SECOND FLOOR	1,501 SQ. FT.
TOTAL	672 SQ. FT.
4d. UNIT # 4	829 SQ. FT.
FIRST FLOOR	829 SQ. FT.
SECOND FLOOR	1,516 SQ. FT.
TOTAL	672 SQ. FT.
4d. UNIT # 5	829 SQ. FT.
FIRST FLOOR	829 SQ. FT.
SECOND FLOOR	1,516 SQ. FT.
TOTAL	672 SQ. FT.
4d. UNIT # 6	829 SQ. FT.
FIRST FLOOR	829 SQ. FT.
SECOND FLOOR	1,516 SQ. FT.
TOTAL	672 SQ. FT.
4d. UNIT # 7	829 SQ. FT.
FIRST FLOOR	829 SQ. FT.
SECOND FLOOR	1,516 SQ. FT.
TOTAL	672 SQ. FT.
4d. TOTAL PROPOSED LIVING AREA	10,567 SQ. FT.

REVISIONS	BY
	BDE

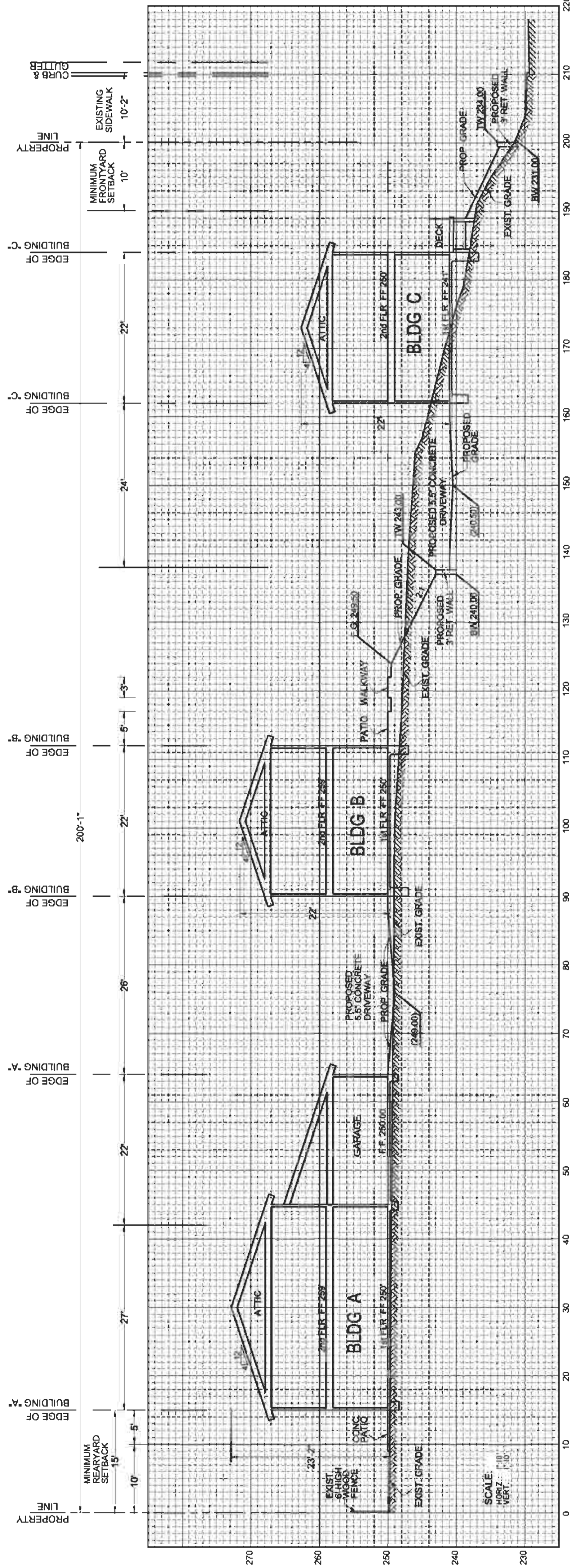
BUILDING DESIGN & ENGINEERING
 9966 DOLORES ST., SUITE 201
 SPRING VALLEY, CA. 91977
 PH (619) 463-3002
 FAX (619) 463-3007



JEFFLA PROPERTIES, LLC
 CHURCHWARD ST. APARTMENTS
 SAN DIEGO, CA 92114

DRAWN:	CHECK:
DATE:	02/17/08
SCALE:	AS SHOWN
JOB NO.:	
SHEET NO.:	C2
SHEET:	2 OF 3

SECTION A-A



SECTION B-B

